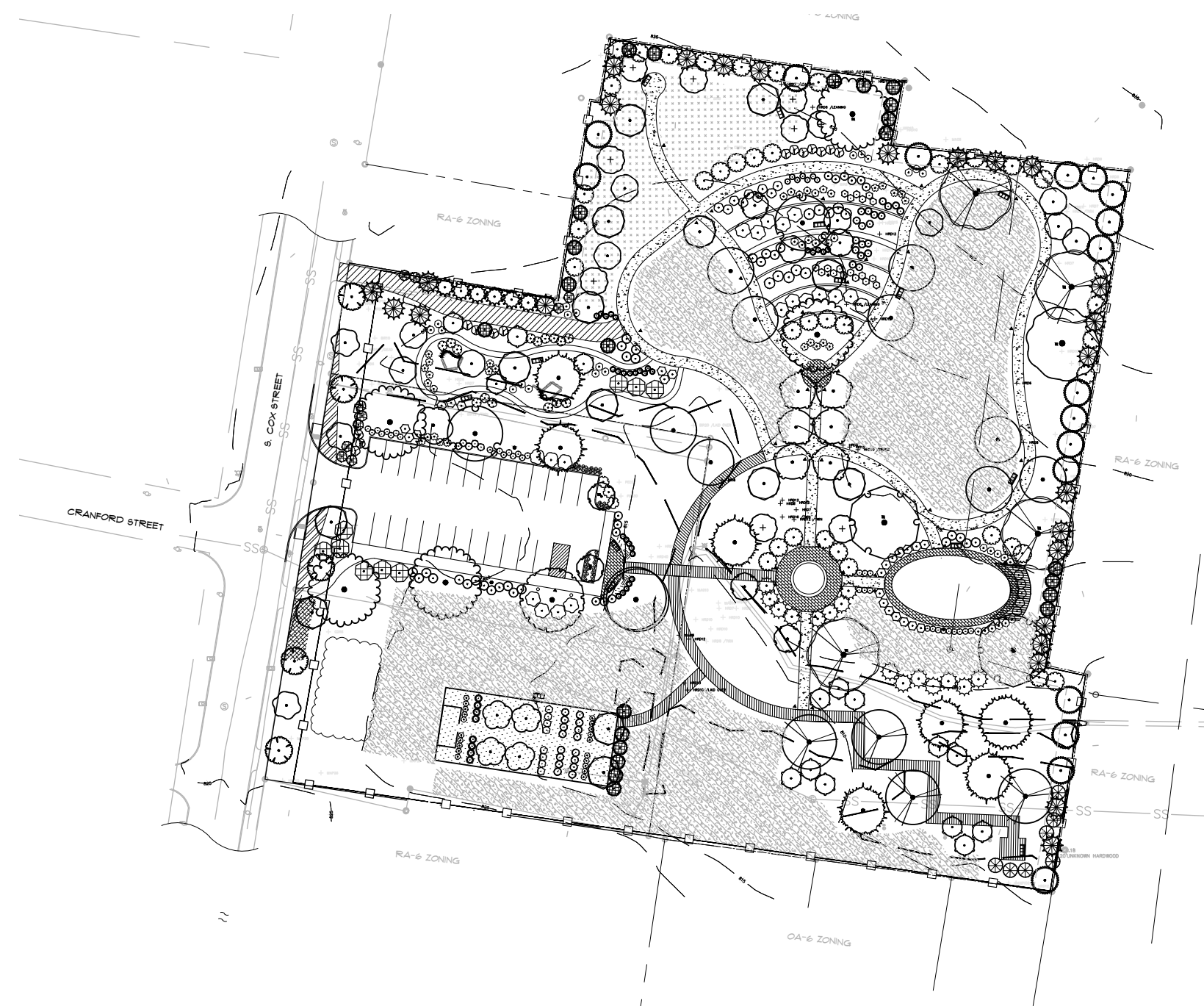


DAVID AND PAULINE JARRELL
CENTER CITY GARDEN
205 S. COX STREET, ASHEBORO, NC
AUGUST 30, 2024
100% CD AND PHASING



SITE PLAN NOTES

1.

ALL CONSTRUCTION IN RIGHT-OF-WAY PER NCDOT STANDARD.
2.

ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
3.

THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, EDGE OF WALL, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
4.

THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
5.

IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
6.

LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
7.

EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON FIELD DATA AND SURVEY PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
8.

CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
9.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
10.

EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
11.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
12.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS. FUTURE BUILDING SHOWN IS ILLUSTRATIVE ONLY.
13.

CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
14.

CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
15.

ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY WAKE COUNTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
16.

TRAFFIC CONTROLS FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
17.

CONTRACTOR TO COORDINATE WITH CITY AND NCDOT ON ANY GRADING, CLEARING OR GRUBBING IN THE RIGHT-OF-WAY.
18.

CONTRACTOR TO COORDINATE WITH OWNER AND POWER COMPANY ON EXISTING LIGHT POLE AND OVERHEAD LINES.

SHEET INDEX	
COV	COVER SHEET
L100	EXISTING CONDITIONS & DEMOLITION PLAN
L200	SITE PLAN
L300	GRADING & EROSION CONTROL PLAN (TO BE FINALIZED)
L301	EROSION CONTROL DETAILS (TO BE FINALIZED)
L302	EROSION CONTROL DETAILS (TO BE FINALIZED)
L303	EROSION CONTROL DETAILS (TO BE FINALIZED)
L400	PLANTING PLAN
L401	PHASING PLAN
L500	PLANTING DETAILS
L501	SITE DETAILS
L502	SITE DETAILS
L503	SITE DETAILS

SITE DATA SUMMARY	
PROJECT NAME	David & Pauline Jarrell Center City Garden
EXISTING STREET ADDRESS	205 S. Cox Street, Asheboro, NC 27203
EXISTING LOT AREA	MULTIPLE LOTS* = 3.6 ACRES TOTAL
EXISTING USE	SINGLE FAMILY RESIDENTIAL & VACANT
AREA OF PUBLIC RIGHT-OF-WAY DEDICATION	0 SF
CURRENT ZONING	RA-6 AND OA-6
OVERLAY DISTRICT(S)	CENTER CITY OVERLAY - TIER 2
PARCEL NUMBER	7751829013, 7751920109, 7751921296, 7751920235
DEED BOOK / DEED PAGE	2629/582, 2674/1733, 2674/1736
EXISTING GROSS BUILDING AREA	2,261 SF
EXISTING BUILDING USE	SF RESIDENTIAL/VACANT
PROPOSED GROSS BUILDING AREA	TBD
PROPOSED LAND USE	PUBLIC USE FACILITY
EXISTING IMPERVIOUS AREA (PRE-DEVELOPMENT)	3,005 SF (2% OF TOTAL PARCELS)
TOTAL IMPERVIOUS AREA (POST-DEVELOPMENT)	APPROX. 28,000 SF (18%)
NET CHANGE IN IMPERVIOUS AREA (PROPOSED)	24,995 SF (16%)
IMPERVIOUS ALLOWED	70% (CENTER CITY OVERLAY DISTRICT)
LAND DISTURBANCE	.72 ACRES (31,460 SF) - PHASE ONE - SEE SHEET L300

*MULTIPLE PARCELS: .534 ACRES + .49 ACRES + 2.54 ACRES + .04 ACRES = 3.6 ACRES TOTAL (156,816 SF)

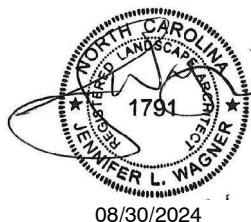
APPROVED

By Asheboro
Planning &
Zoning
Department
12-8-25

6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
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2	90% DD	09/12/2023
1	OWNER REVIEW	08/01/2023
No.	Revision/Issue	Date

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227 GLASCOCK STREET
RALEIGH, NC 27604
919-607-0025
JENWAGNERLANDSCAPE@GMAIL.COM
WWW.PROSPECT-LA.COM

PROSPECT LANDSCAPE ARCHITECTURE, PLLC



Project/Client:
CITY OF ASHEBORO

DAVID & PAULINE JARRELL CENTER CITY GARDEN

205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN

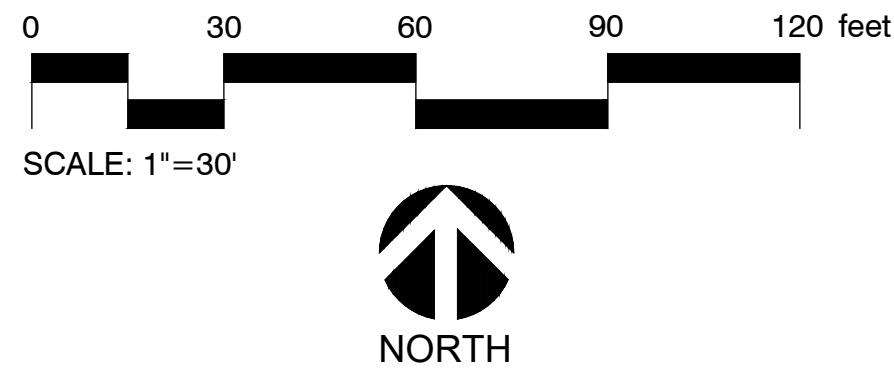
2024/08/30

COVER
SHEET

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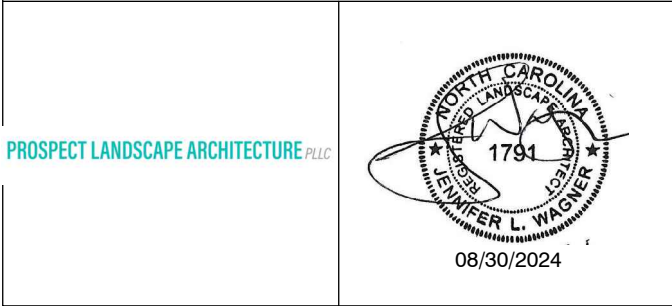


- DEMO NOTES:
- CONTRACTOR TO INSTALL TREE PROTECTION FENCE AS SHOWN TO PROTECT EXISTING TREES BEFORE ANY DEMOLITION OR GRADING OCCURS.
 - ALL STRUCTURES TO BE DEMOLISHED BEFORE CONSTRUCTION. CONSULT WITH CITY AND LANDSCAPE ARCHITECT TO CONFIRM DEMOLITION EXTENTS.
 - NO DISTURBANCE IN WETLANDS UNLESS APPROVED BY DEQ AND ARMY CORPS IN LIMITED AREAS.



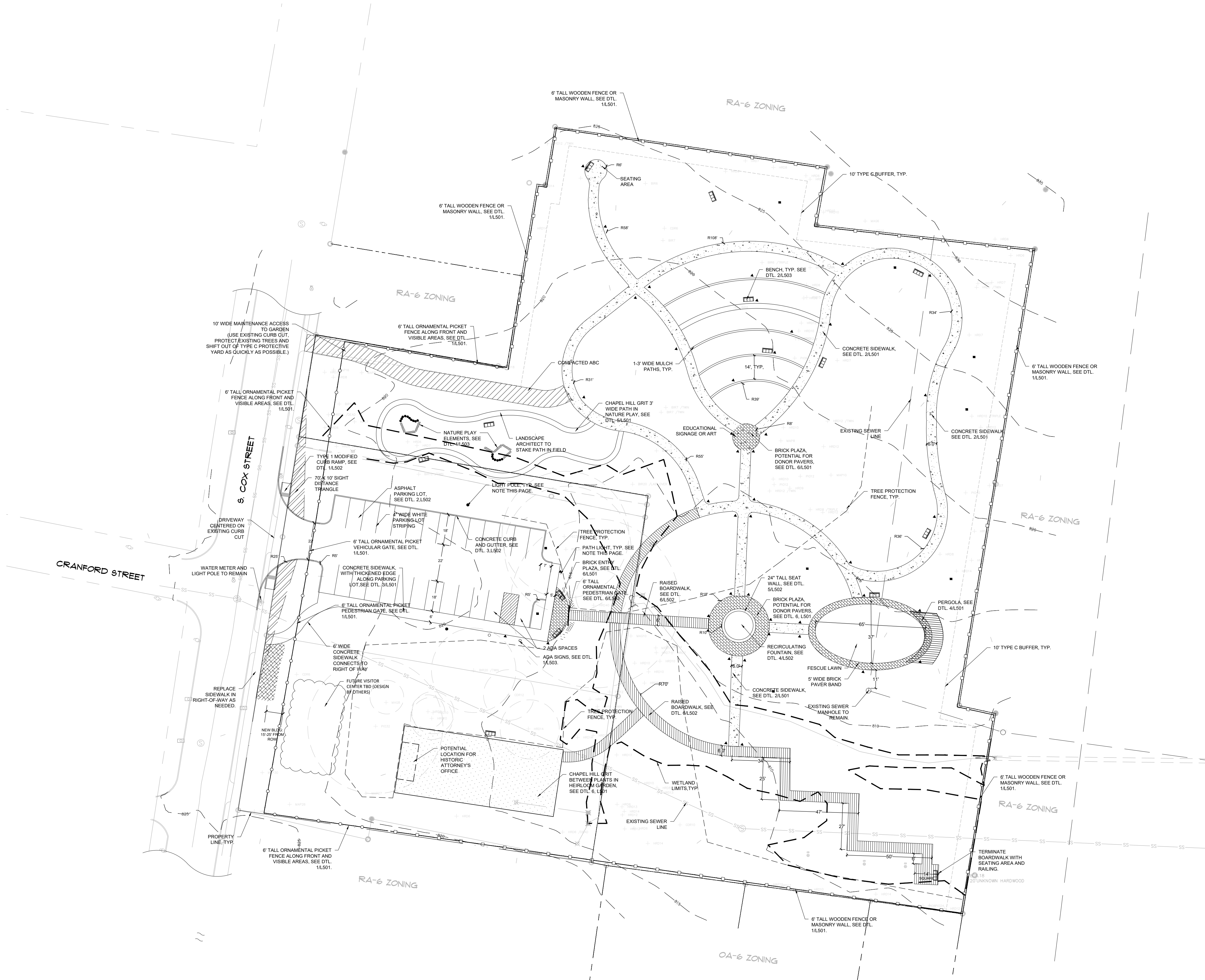
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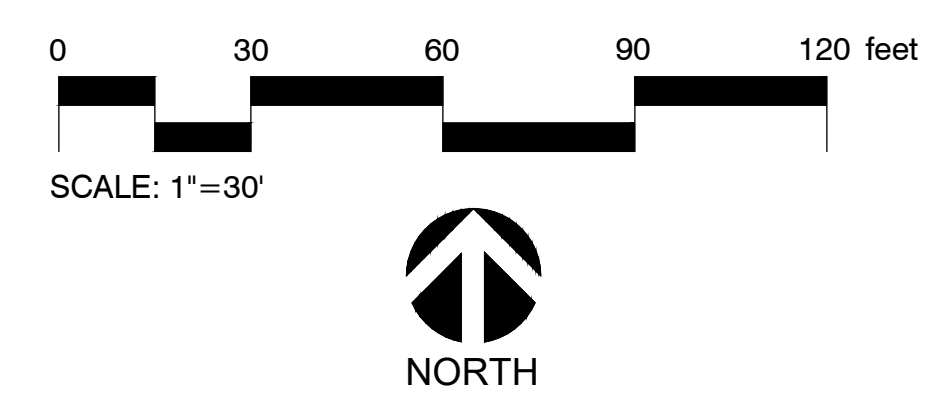
Project/Client:
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CENTER CITY GARDEN	EXISTING & DEMO PLAN
2024/08/30	L100
1:30	



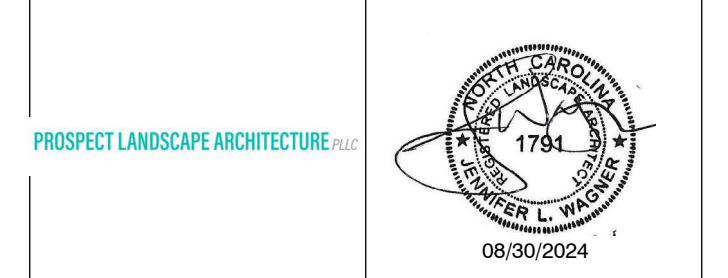
SITE NOTES:

- PARKING LOT LIGHTS (2) LEASED FROM DUKE ENERGY. FIXTURE: MITCHELL TOP HAT LED. POLE: DECORATIVE ALUMINUM STYLE V.
- ▲ LOW VOLTAGE PATH LIGHTS IN PARK AS SHOWN. UNIQUE NEUTRON PATH LIGHT 18 IN. RISER ALUMINUM BRONZE FINISH 2W 2700K LED (OR SIMILAR.) FINAL LOCATIONS AND QUANTITY TBD AFTER PATH LAYOUT.
- TREE UPLIGHTS AT TREES AS SHOWN. SEE SHEET L400 FOR TREE LOCATIONS. VISTA GR-5006 UP LIGHT ALUMINUM HOUSING ARCHITECTURAL BRONZE 4.5W 2800K 36 DEGREE LED (OR SIMILAR). TREE UPLIGHTS MAY BE INSTALLED A FEW YEARS AFTER INSTALLATION TO ALLOW TREES TIME TO GROW. FINAL LOCATIONS AND QUANTITY TBD.
- CONTRACTOR TO PROVIDE CONDUIT UNDER SIDEWALKS FOR IRRIGATION AND LIGHTING.



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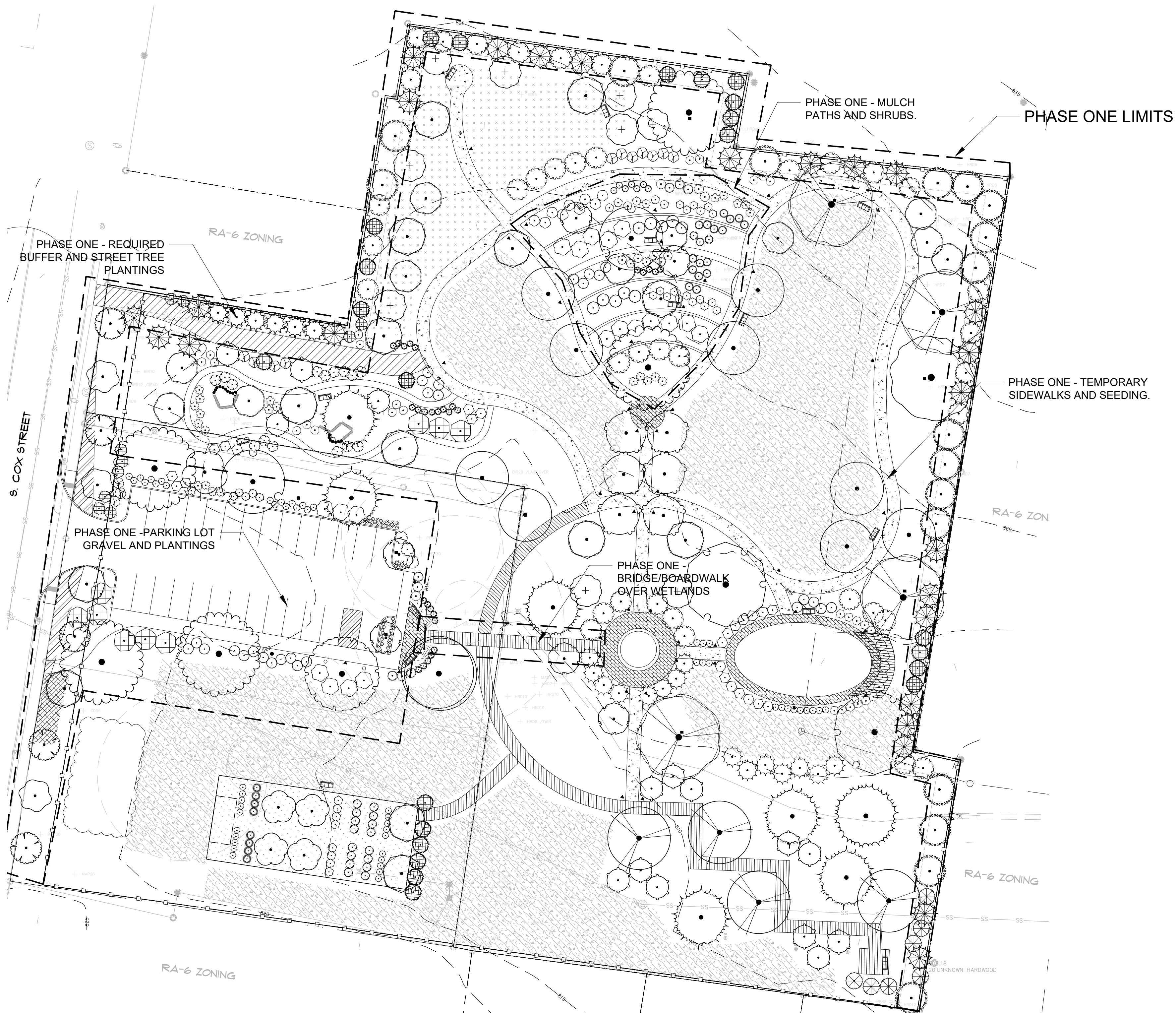
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CITY OF ASHEBORO

DAVID & PAULINE JARRELL CENTER CITY GARDEN

205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	SITE PLAN
2024/08/30	L200
1:30	

L400



PLANT SCHEDULE PHASE ONE - SHRUB GARDEN

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY
TREES				
	LT	Liriodendron tulipifera	Tulip Poplar	1
	OA	Oxydendrum arboreum	Sourwood Tree	2
	QL	Quercus lyrata	Overcup Oak	1
UNDERSTORY TREES				
	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	1
	CF2	Cornus florida	Eastern Dogwood	2

SHRUBS

	AP	Aesculus parviflora	Bottlebrush Buckeye	12
	AD	Azalea indica 'George L. Tabor'	George Tabor Azalea	10
	AZR	Azalea x 'Fashion'	Fashion Glenn Dale Azalea	18
	CA	Callicarpa americana	American Beautyberry	7
	CD	Camellia japonica 'Debutante'	Debutante Camellia	9
	CC	Camellia sasanqua 'Dwarf Shishi'	Dwarf Shishi Camellia	7
	CW	Camellia sasanqua 'Green 02-004' TM	October Magic White Shi-Shi Camellia	6
	CG	Cryptomeria japonica 'Globosa Nana'	Dwarf Japanese Cedar	6
	GC	Gardenia jasminoides 'Crown Jewel'	Crown Jewel Gardenia	7
	HYD	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	10
	IV3	Ilex verticillata 'Sparkleberry'	Sparkleberry Winterberry	5
	RG2	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	13
	VC	Viburnum awabuki 'Chindo'	Chindo Viburnum	4
	VM2	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	5

PLANT SCHEDULE PHASE ONE - REQUIRED

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY
TREES				
	AS	Acer buergerianum 'Streetwise' TM	Streetwise Trident Maple	3
	CO	Cercis canadensis texensis 'Oklahoma'	Oklahoma Texas Redbud	1
	IN	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	15
	IF	Ilex x attenuata 'Fosteri'	Foster's Holly	23
	JUN BR3	Juniperus silicicola 'Brodie'	Brodie Southern Red Cedar	6
	JB2	Juniperus virginiana 'Burkii'	Burk Eastern Redcedar	17
	LT	Liriodendron tulipifera	Tulip Poplar	1
	OA	Oxydendrum arboreum	Sourwood Tree	2
	QC	Quercus coccinea	Scarlet Oak	1
	QL	Quercus lyrata	Overcup Oak	3
	TD2	Taxodium distichum	Bald Cypress	1
UNDERSTORY TREES				
	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	2
	CV	Chionanthus virginicus	White Fringetree	5
SHRUBS				
	AP	Aesculus parviflora	Bottlebrush Buckeye	7
	CW	Camellia sasanqua 'Green 02-004' TM	October Magic White Shi-Shi Camellia	5
	CR2	Carex buchananii 'Red Rooster'	Red Rooster Leather Leaf Sedge	51
	TC	Chamaecyparis pisifera	Sawara Cypress	4
	CR	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	3
	HYD	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5
	IS	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	17
	IM	Ilex opaca 'Maryland Dwarf'	Maryland Dwarf American Holly	6
	IV3	Ilex verticillata 'Sparkleberry'	Sparkleberry Winterberry	13
	LP	Leucothoe populifolia	Florida Hobblebush	3
	OF	Osmanthus fragrans 'Fudingzhu'	Fudingzhu Sweet Olive	9
	RG	Rhus glabra	Smooth Sumac	5
	TB	Ternstroemia gymnanthera 'Conthery'	Bronze Beauty™ Clethera	3
	VM	Viburnum acerifolium	Mapleleaf viburnum	4
	VC	Viburnum awabuki 'Chindo'	Chindo Viburnum	21

PHASE ONE:

- PARKING LOT USED FOR STAGING - GRADE AND GRAVEL ONLY AT THIS TIME.
- ROUGH GRADING OUTSIDE OF WETLANDS.
- PARKING LOT PLANTINGS.
- STREET TREES.
- BUFFER PLANTINGS ALONG PROPERTY BOUNDARIES.
- TEMPORARY SIDEWALKS OF CHAPEL HILL GRIT.
- MULCH WALKS THROUGH SHRUB GARDEN.
- SHRUBS FOR SHRUB GARDEN.
- POLLINATOR SEED MIX.
- FESCUE/CLOVER MIX IN MEADOW.
- MAINTENANCE ACCESS DRIVE.
- BRIDGE OVER WETLANDS

PHASE TWO:

- NATURAL PLAY ELEMENTS.
- BENCHES.
- ADDITIONAL PLANTINGS.
- FORMAL LAWN.
- PERGOLA.
- HEIRLOOM GARDEN.

PHASE THREE:

- BOARDWALK.
- PERMANENT SIDEWALKS OF CONCRETE.
- FOUNTAIN AND SEATWALL.
- ENTRY PLAZA AND GATE.
- EDUCATIONAL SIGNAGE.

FUTURE PHASE:

- VISITOR'S CENTER.
- SIDEWALKS AND PLANTING AROUND FUTURE VISITOR'S CENTER.

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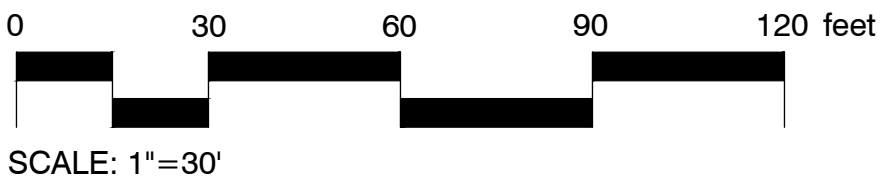
CENTER CITY GARDEN

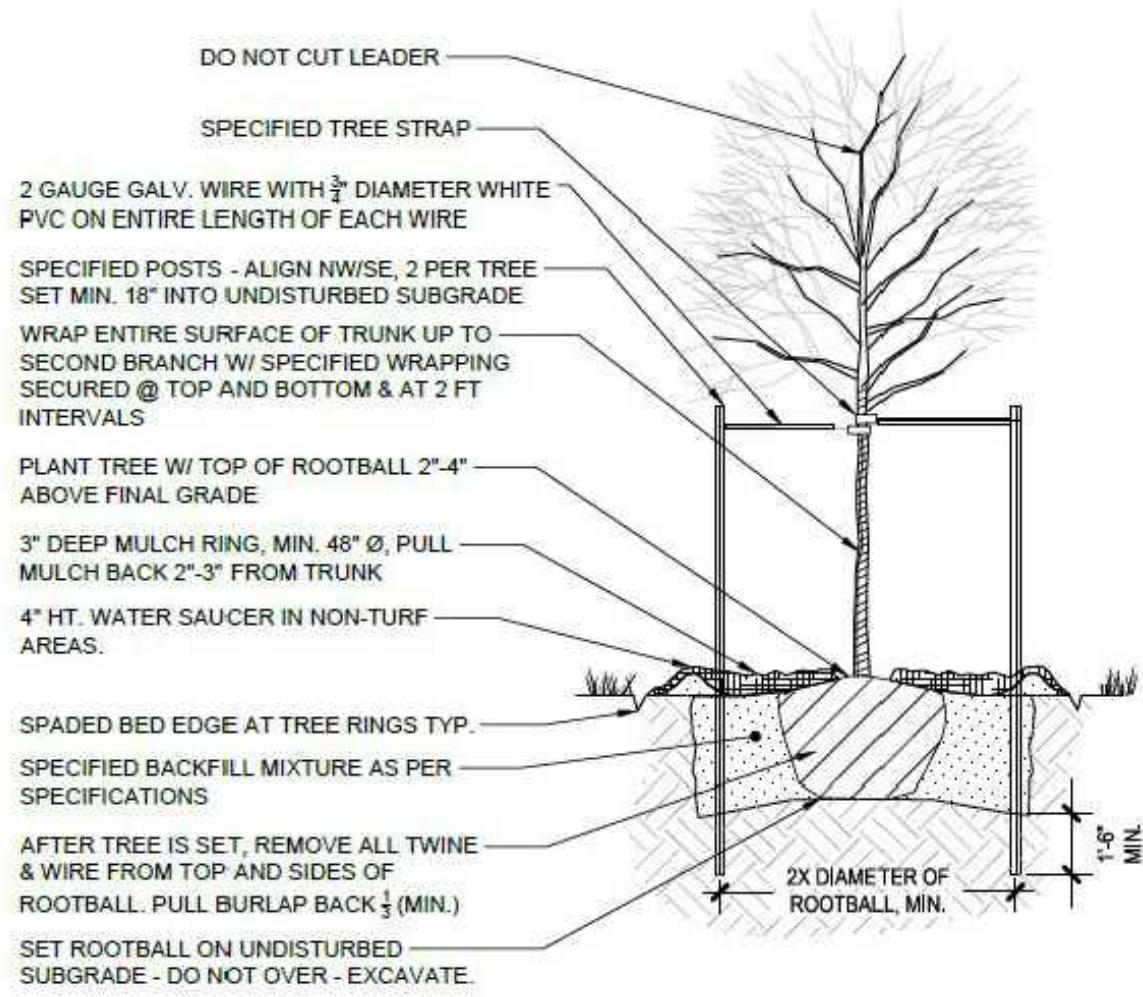
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PHASING
PLAN

L401



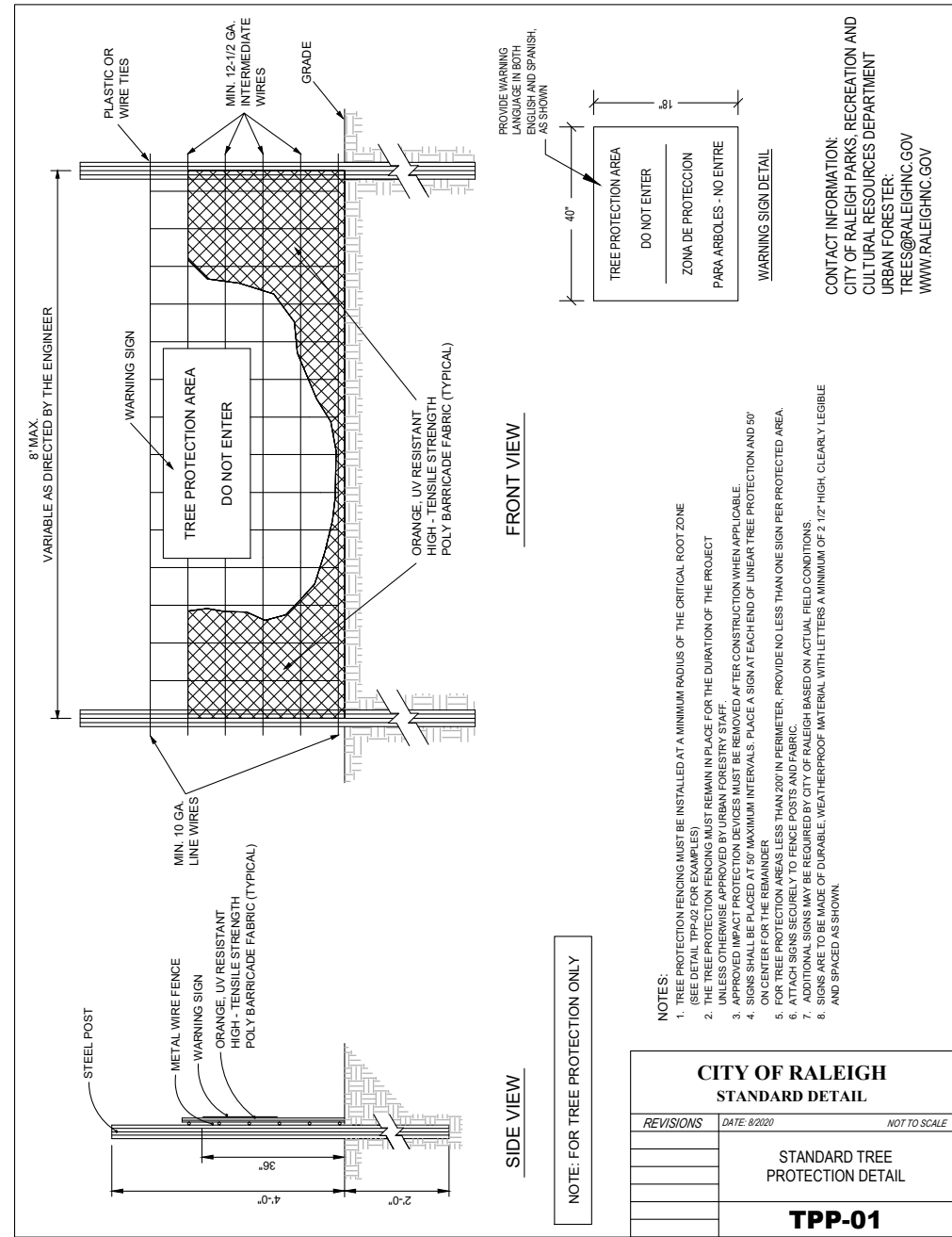


DETAIL 1 - TREE PLANTING

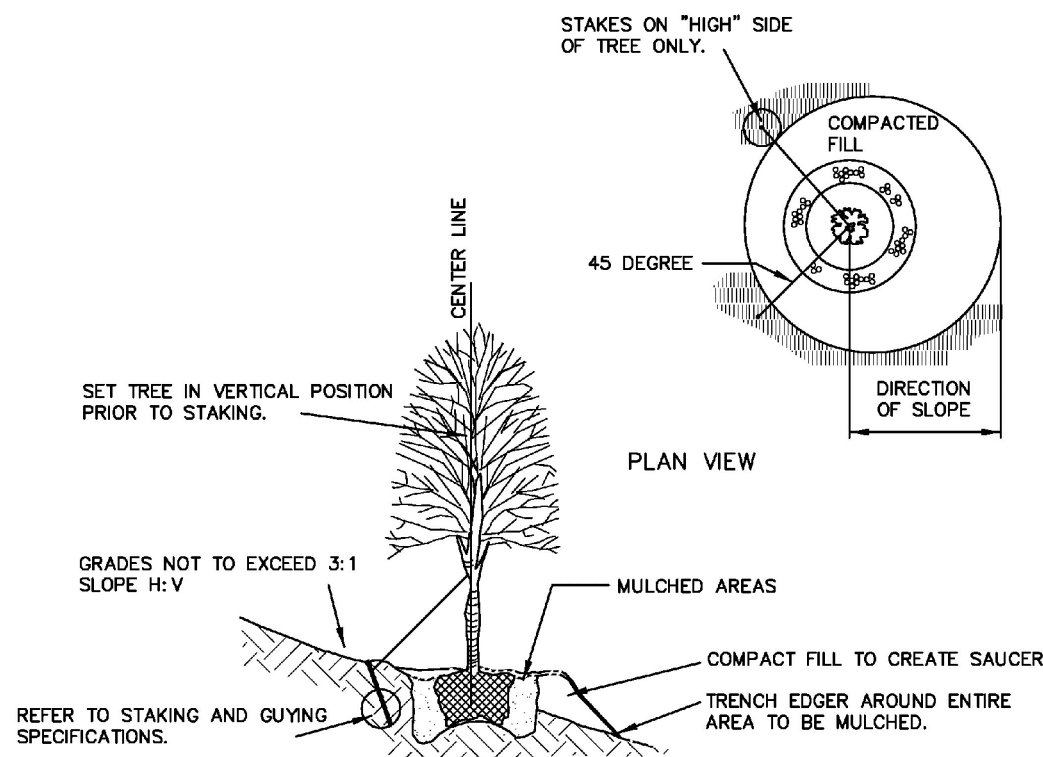
PLANTING NOTES

- ALL DISTURBED AREAS NOT SHOWN WITH PLANTS SHALL BE PLANTED WITH TALL FESCUE / MICRO-CLOVER MIX.
- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND ALL OTHER UNDERGROUND STRUCTURES PRIOR TO PLANTING.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- ALL DEBRIS, ROCKS, ETC. LARGER THAN .5 INCH ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING.
- MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH, FREE OF WEEDS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR ON SLOPES.
- FOR PLANTER BEDS: RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL. TILL IN SOIL AMENDMENTS TO A DEPTH OF 6" AND WHERE PLANTS SHARE ROOT SPACE - TILL THE ENTIRE AREA, NOT JUST THE PLANT HOLES. FOR SEEDING/SOD: ALL AREAS TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL TILLED INTO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.
- FOR CONTAINER GROWN PLANTS, USE FINGERS OR SMALL HAND TOOLS TO GENTLY PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL AND CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- BEFORE PLANTING, ADD 3-4" OF WELL COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO TOP 4-6" OF PREPARED SOIL. ADD COMPOST AT 20-35% BY VOLUME TO BACKFILL.
- DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
- PROVIDE GATOR BAGS FOR TREES WHERE IRRIGATION IS NOT PROVIDED. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- PLANTS SHALL BE REPRESENTATIVE OF THEIR SPECIES AND MEET ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS THE RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- QUANTITIES SHOWN ON THE PLANT LEGEND ARE FOR THE CONTRACTOR'S CONVENIENCE. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND.
- IF ANY PLANT SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL BE PRESENTED AND A MINIMUM OF 72-HOURS SHALL BE GIVEN TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING DATE FOR FINAL DECISION.
- BALLED AND BURLAPPED TREES SHALL BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- STREET TREES SHALL BE SPACED NO CLOSER THAN 25' TO EACH OTHER AND SHOULD BE 10' AWAY FROM STORMWATER PIPES, WITH A MINIMUM OF 5' FROM STORMWATER STRUCTURES. MEDIUM TO LARGE STREET TREES SHOULD BE SPACED AN AVERAGE OF 40' APART AND SMALL MATURING STREET TREES SHOULD BE SPACED AN AVERAGE OF 20' APART, AS INDICATED ON THE PLANS.
- IRRIGATION TO BE DESIGN-BUILD BY CONTRACTOR AND UTILIZE AN ON-SITE WELL.

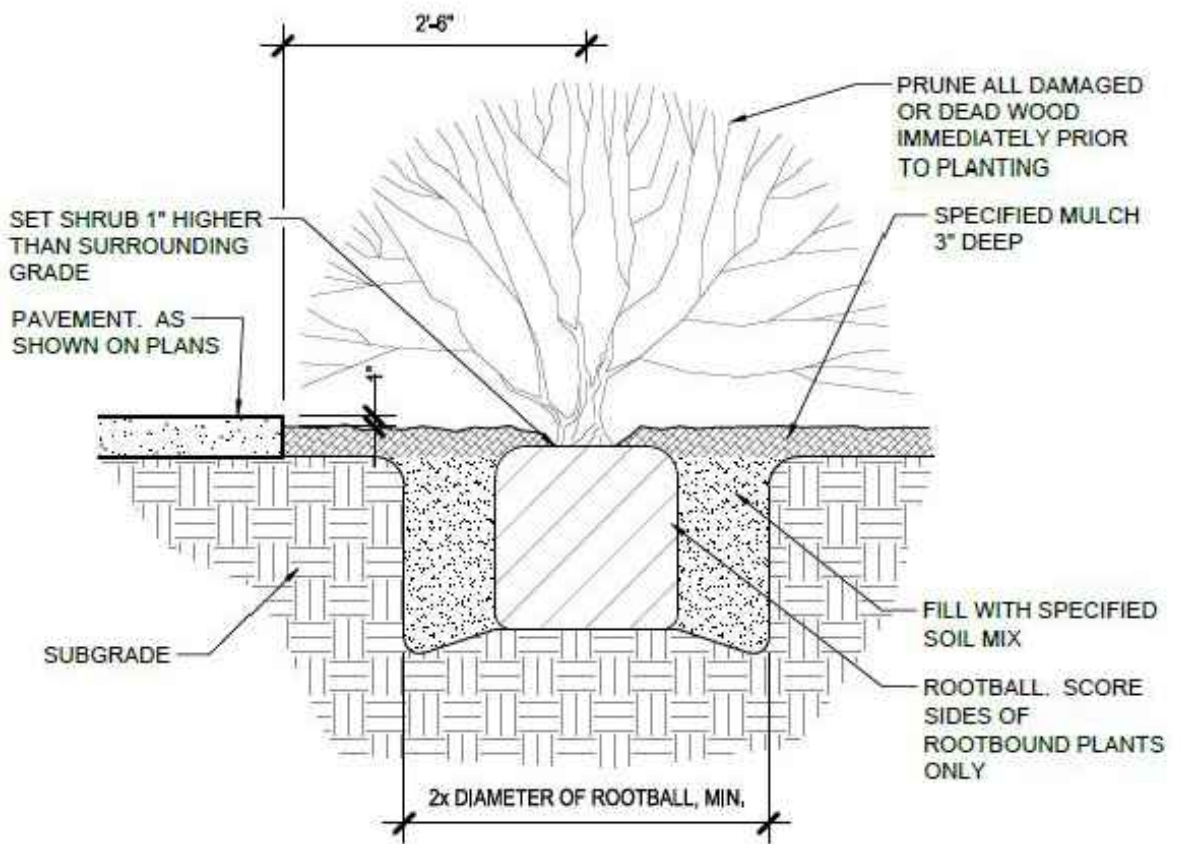
DETAIL 2 - PLANTING NOTES



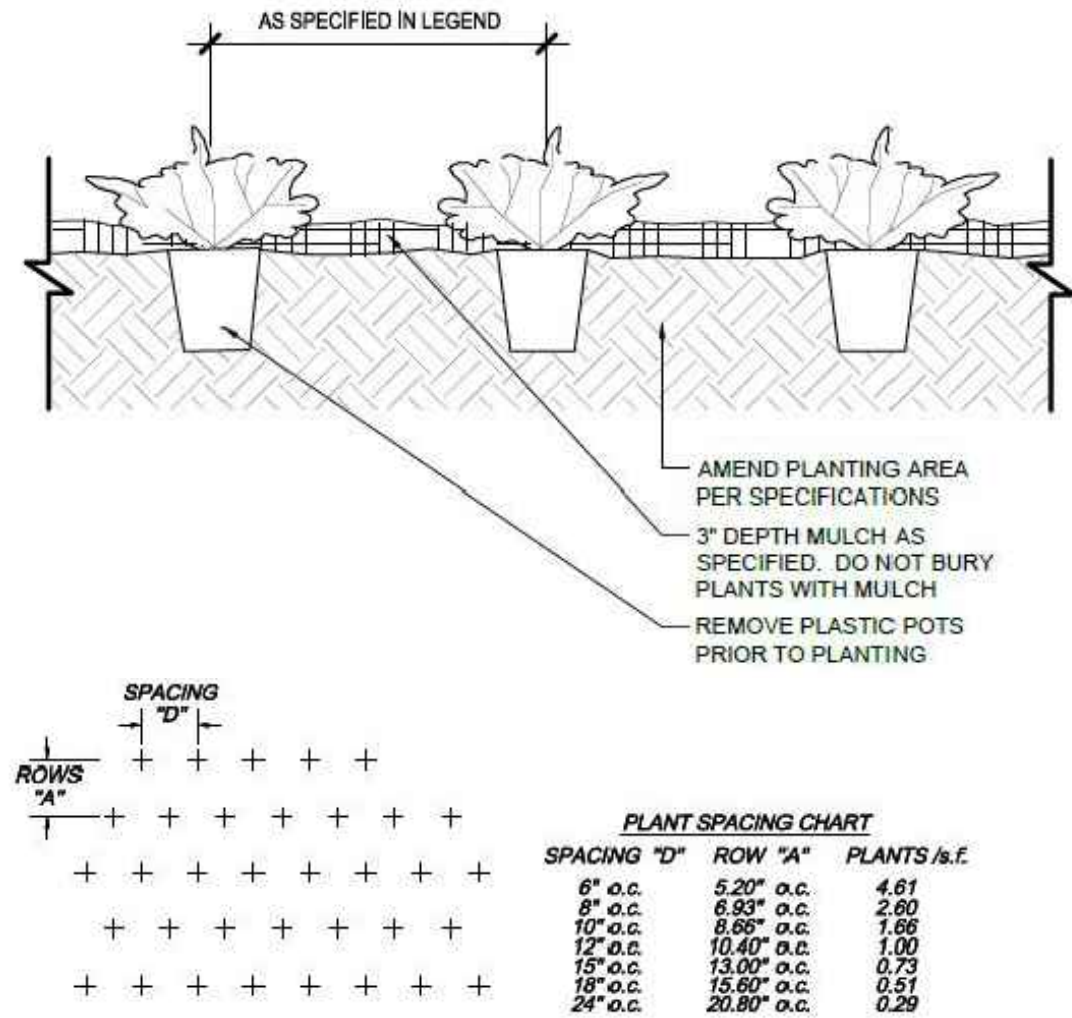
DETAIL 3 - TREE PROTECTION FENCE



DETAIL 4 - TREE PLANTING ON SLOPE



DETAIL 5 - SHRUB PLANTING

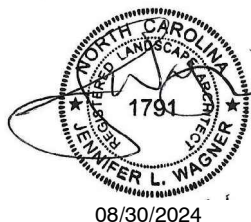


DETAIL 6 - GROUNDCOVER & SPACING

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205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN

2024/08/30

PLANTING
DETAILS

L500

AGGREGATE PATH EDGING

- 1. ALUMINUM EDGING - SURE-LOC 'CRISP EDGE' PRODUCT OR SIMILAR.
- 2. 3/8" X 4" PRODUCT.
- 3. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

HEIRLOOM GARDEN PLANTER BEDS

RAISED PLANTER BEDS MADE OF CEDAR, CYPRESS OR OTHER ROT RESISTANT WOOD OR HDPE MATERIAL WITH FABRIC LINER.

- GARDENER'S SUPPLY COMPANY www.gardeners.com "WHEELCHAIR ACCESSIBLE ELEVATED GARDEN BED" or
- TERRAFORM KIT FOR ADAPTED GARDENS: <https://terraform.fr/english-version/> or
- DURABLE GREEN BED: durablegreenbed.com " 4'X12'X2' LONG RECTANGLE RAISED GARDEN BED KIT (RECYCLED WOODCHIP/CONCRETE COMPOSITE WITH CEDAR TOP)

FENCING

- AROUND PERIMETER WITH SHRUBS IN-BOARD: 6' TALL SOLID WOOD FENCE OR MASONRY WALL AROUND SITE. (CMU WITH BRICK VENEER) **OR** PRODUCT PROVIDED BY CITY.
- FENCE ALONG FRONT OF SITE (AS SHOWN ON PLANS), AMERISTAR ECHELON II OR SIMILAR.

FURNISHINGS

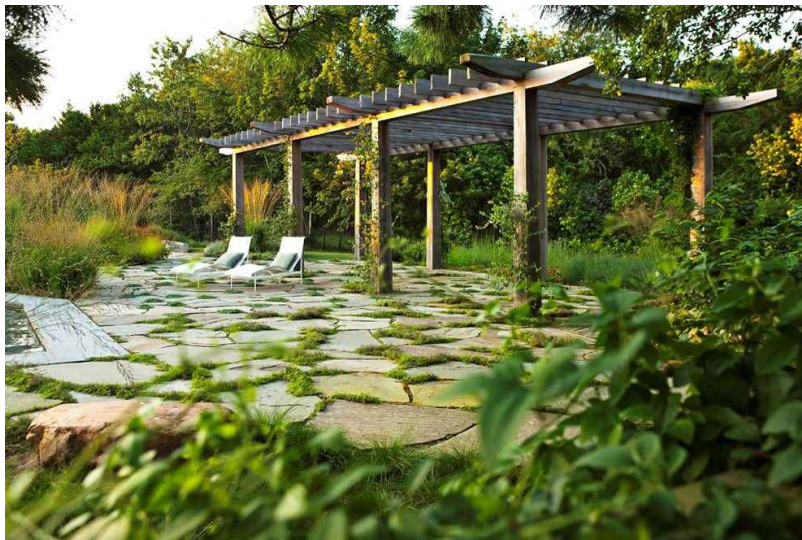
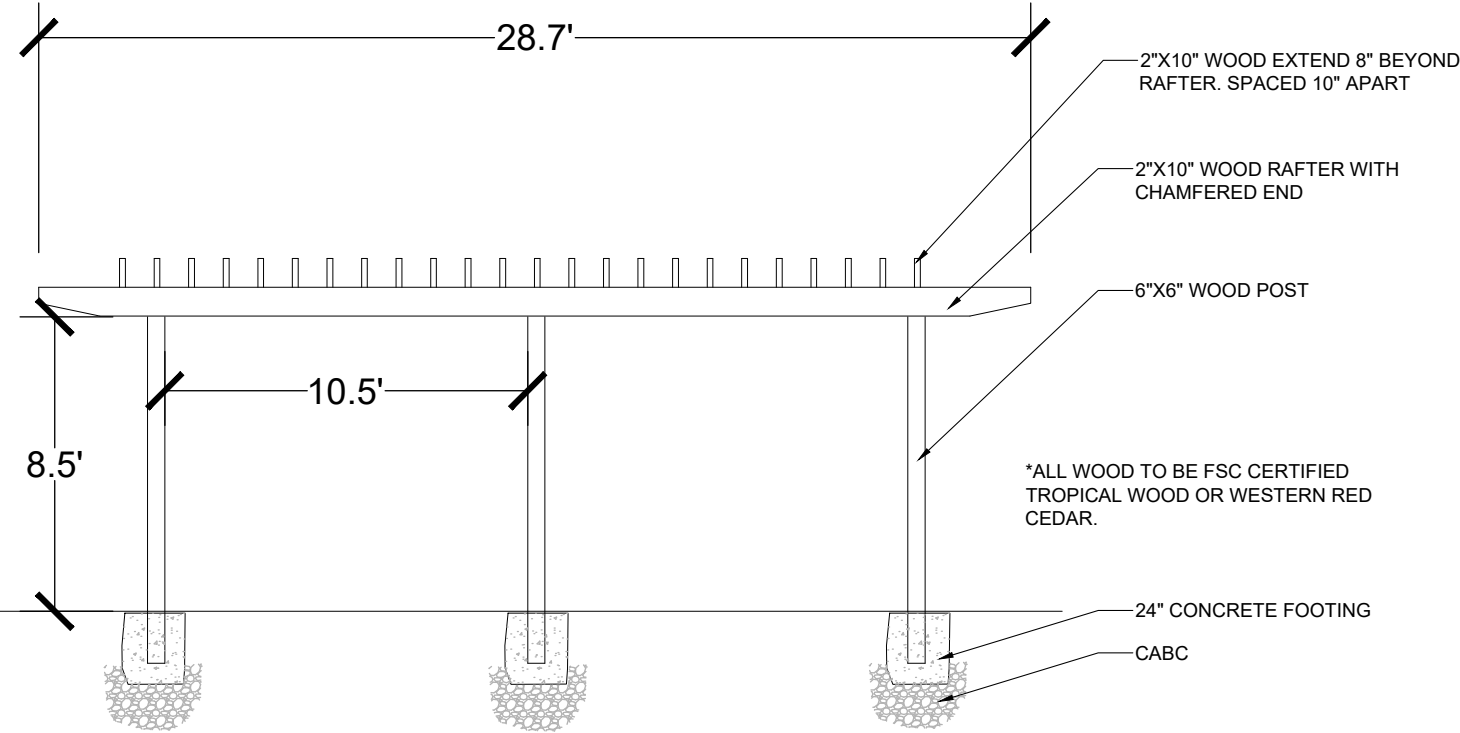
BENCHES: SEE DTL. 2/L503.
LIGHT FIXTURES: SEE NOTES ON SHEET L200.

POLLINATOR SEED MIXES

Eden Brothers
2099 Brevard road
Arden, NC 28704
edenbrothers.com
Perennial Pollinator Wildflower Mix - 25 lbs/more than acre

ALL UNPLANTED DISTURBED AREAS TO BE SEEDED WITH A TALL FESCUE/MICRO-CLOVER MIX.

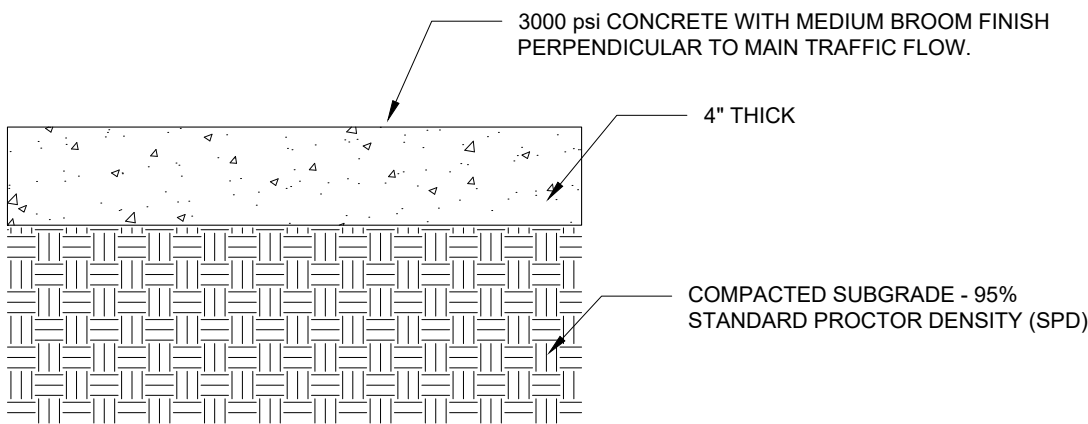
DETAIL 1 - BASIS OF DESIGN PRODUCTS



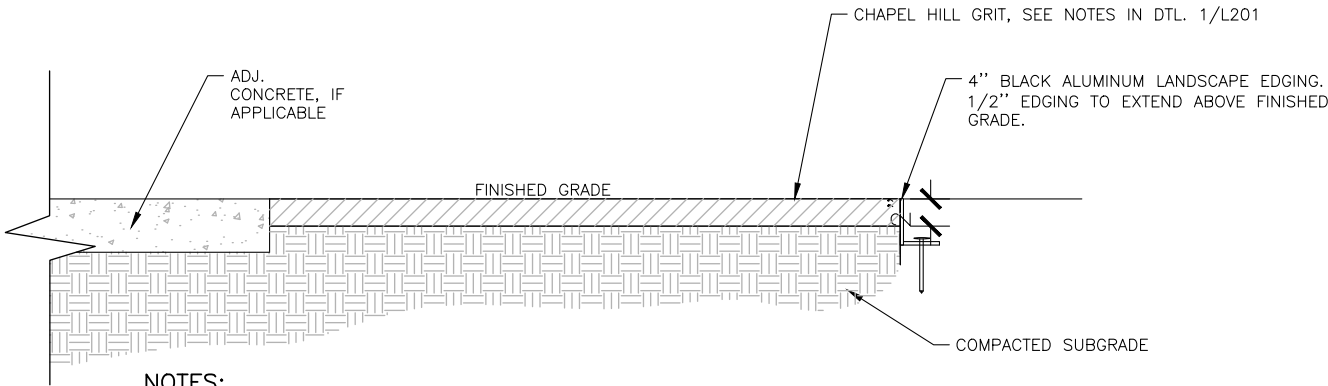
INSPIRATION IMAGES

DETAIL 4 - PERGOLA

DETAIL 2 - PEDESTRIAN CONCRETE



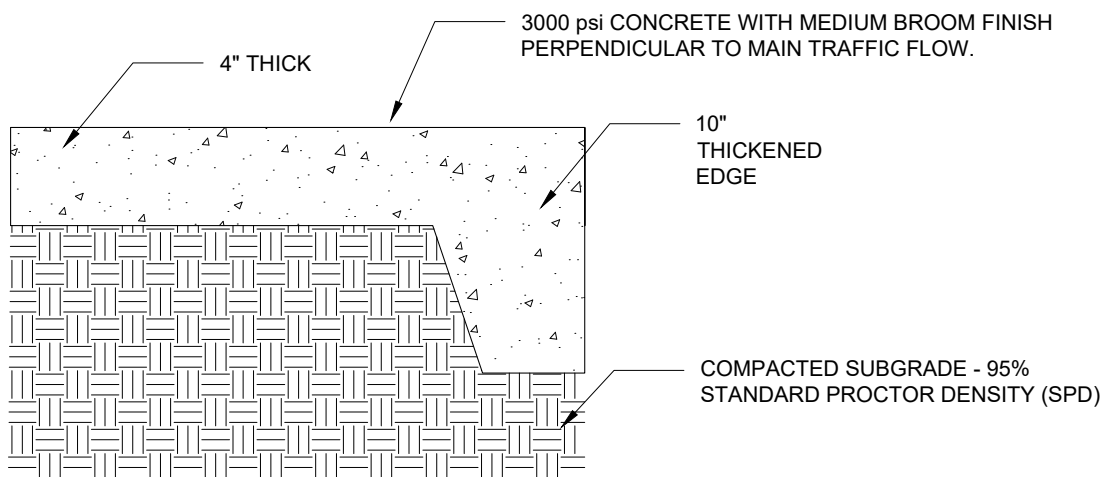
- 1. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING.
- 2. SEE PLANS FOR JOINT LOCATIONS.



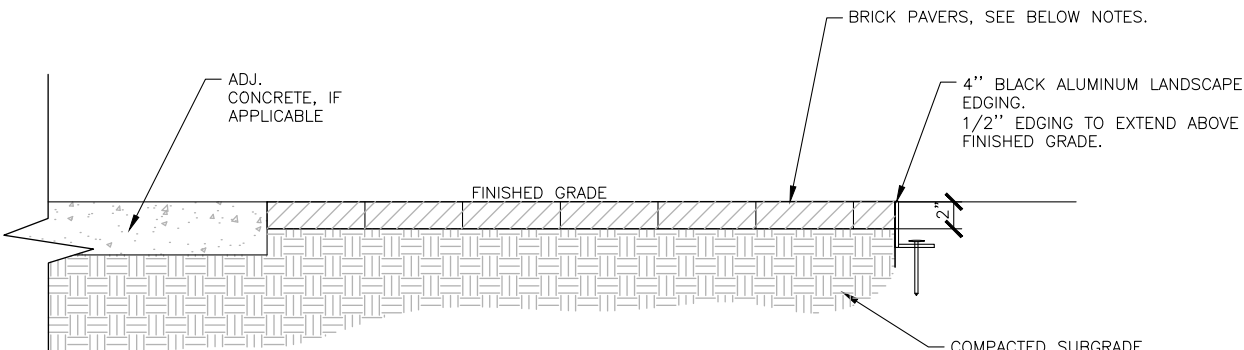
- NOTES:
- 1. PROVIDE MAX 2% CROSS-SLOPE FOR ADEQUATE DRAINAGE.
 - 2. LAY AGGREGATE IN 1.5" LIFTS, SOAK THOROUGHLY, SIT FOR 2-4 HOURS AND COMPACT WITH HEAVY ROLLER OR VIBRATING PLATE COMPACTOR UNTIL 3" DEPTH ACHIEVED.
 - 3. STABILIZER/BINDER BASIS OF DESIGN PRODUCT: ORGANIC-LOCK, STABILIZER SOLUTIONS OR APPROVED EQUAL. INSTALL PER MANUFACTURER REQUIREMENTS
 - 4. ALUMINUM EDGING ON EDGES WITH NO CONCRETE. BY PERMALOC, SURE-LOC CRISP EDGE, PRODUCT IN BLACK.

DETAIL 5 - CHAPEL HILL GRIT PATH

DETAIL 3 - PEDESTRIAN CONCRETE AT PARKING



- 1. THICKENED EDGE AT PARKING LOT.
- 2. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING.
- 3. SEE PLANS FOR JOINT LOCATIONS.



- NOTES:
- 1. PROVIDE MAX 2% CROSS-SLOPE FOR ADEQUATE DRAINAGE.
 - 2. BRICK Laid IN POLYMERIC SAND. BRICKS ABLE TO BE REMOVED, ENGRAVED AND REPLACED AS NEEDED FOR FUNDRAISING PURPOSES.
 - 3. ALUMINUM EDGING BY PERMALOC, "BRICK BLOCK" PRODUCT IN BLACK.

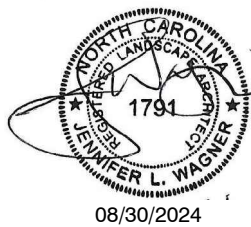
- BRICK PAVERS AT PLAZAS - COLOR AND FINISH TBD.
- Brick Markers USA www.brickmarkers.com
 - Fundraising Brick LLC www.fundraisingbrick.com
- COORDINATE WITH OWNER TO ENGRAVE WITH DONOR NAMES.

DETAIL 6 - PEDESTRIAN BRICK

6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
4	PARKING REVISION	03/29/2024
3	100% DD	10/23/2023
2	90% DD	09/12/2023
1	OWNER REVIEW	08/01/2023
No.	Revision/Issue	Date

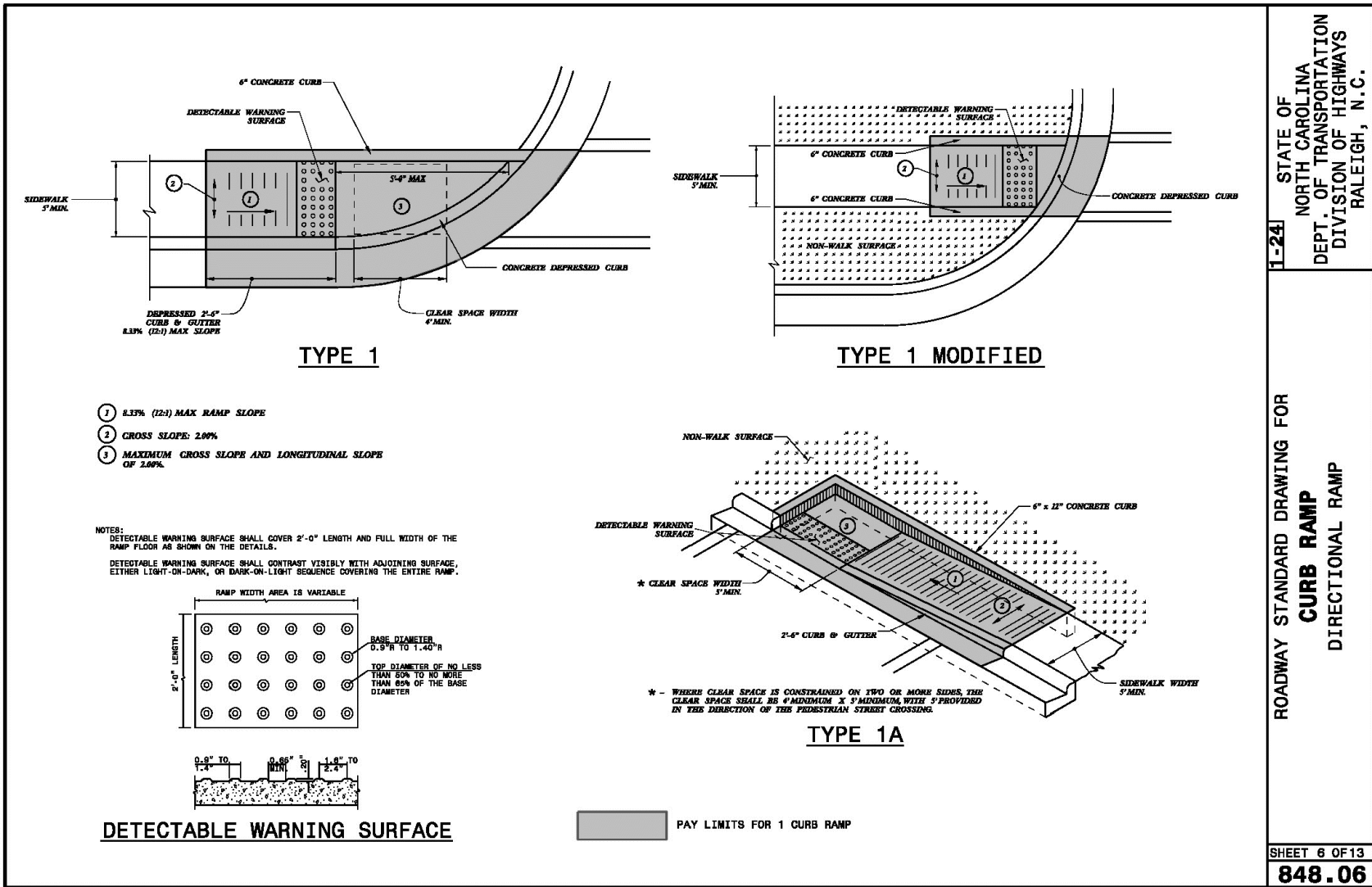
Designed By:
PROSPECT LANDSCAPE ARCHITECTURE, PLLC
227 GLASCOCK STREET
RALEIGH, NC 27604
919-607-0025
JENWAGNERLANDSCAPE@GMAIL.COM
WWW.PROSPECT-LA.COM

PROSPECT LANDSCAPE ARCHITECTURE, PLLC

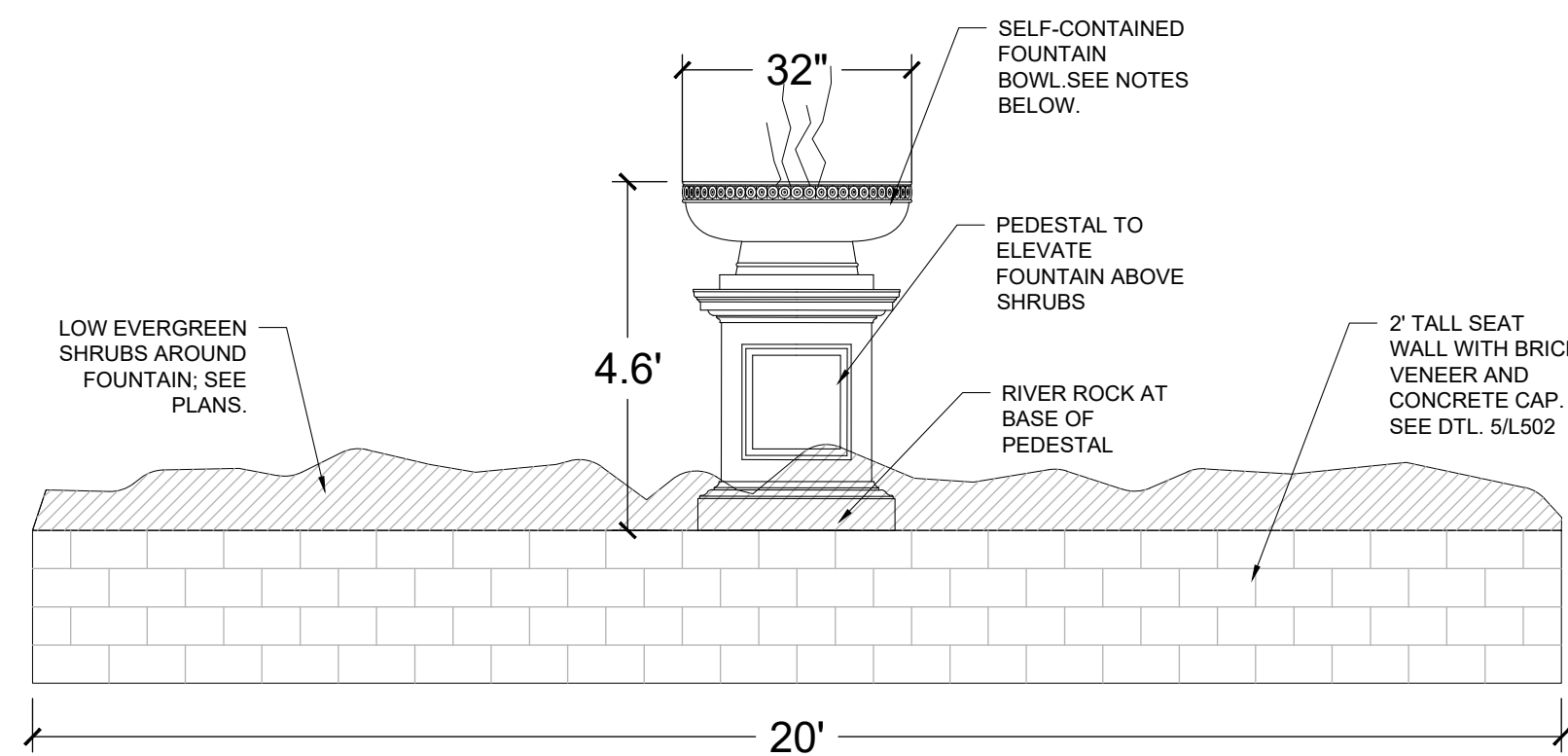


Project/Client:
CITY OF ASHEBORO
DAVID & PAULINE JARRELL CENTER CITY GARDEN
205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	SITE DETAILS
2024/08/30	L501

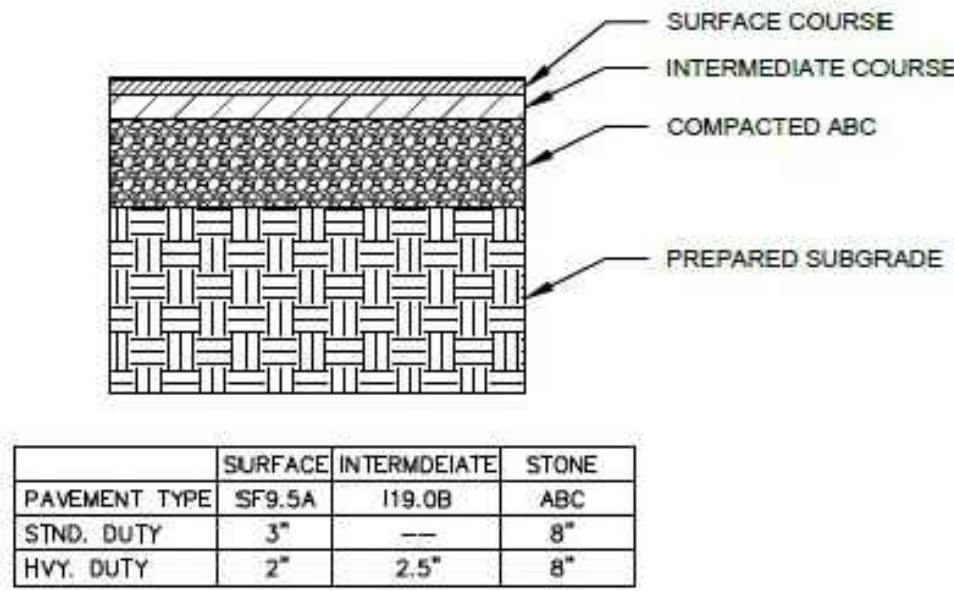


DETAIL 1 - CURB RAMP AT ENTRY DRIVE

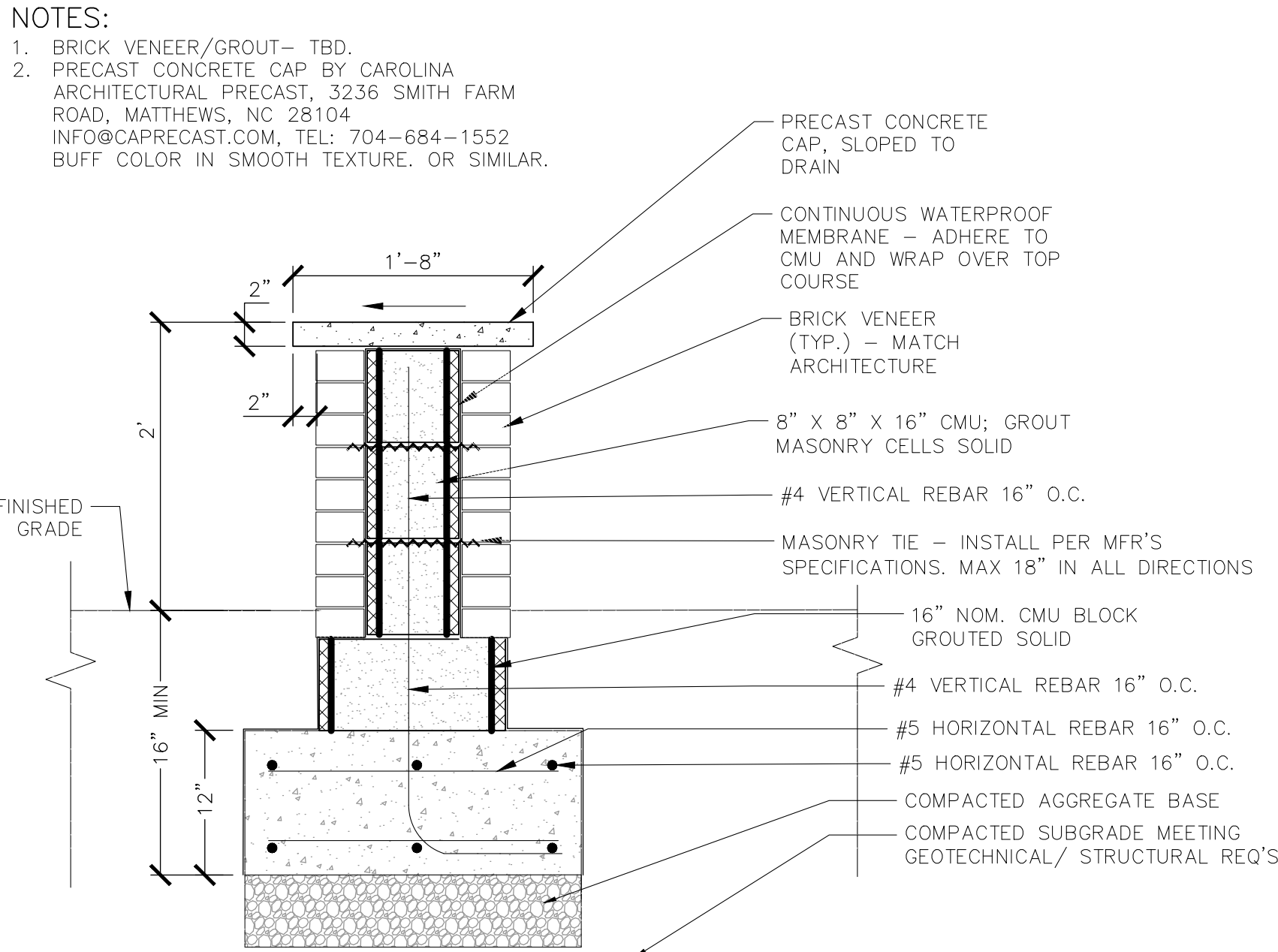


- ROMANESQUE FOUNTAIN BY HADDONSTONE, SKU: TLHC521. 13 11/16" TALL X 32" DIAMETER. COLOR: PORTLAND.
- LARGE GEORGIAN PEDESTAL BY HADDONSTONE, SKU: B122. 44.25" TALL X APPROX. 3' WIDE. COLOR: PORTLAND.
- USE MECHANICAL LIFT TO MOVE PEDESTAL. PLACE ON A FIRM AND LEVEL AREA WITH 8:1 SAND TO CONCRETE BEDDING MORTAR TO SPREAD WEIGHT.

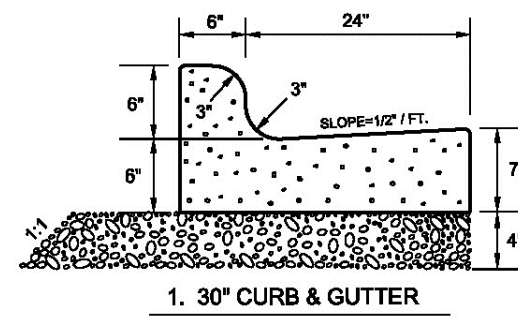
DETAIL 4 - FOUNTAIN ELEVATION



DETAIL 2 - ASPHALT IN PARKING LOT



DETAIL 5 - SEAT WALL AT FOUNTAIN



- NOTES:
- 10' MAXIMUM BETWEEN DUMMY JOINTS.
 - 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
 - 1/2" EXPANSION JOINT EVERY 50'.
 - 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
 - LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1026-2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 646.01. THE JOINT MATERIAL SHALL CONFORM TO SECTION 1026-2 OF NCDOT STANDARD & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - REFER TO NCDOT DETAIL 646.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

DETAIL 3 - CURB AND GUTTER



DESIGN INTENT IMAGES OF WOODEN PEDESTRIAN BOARDWALK WITH CURB

- Wooden boardwalk with non-toxic pressure treated lumber. Naturally decay resistant timber such as red cedar or black locust.
- Shop drawings to be signed and sealed by licensed engineer. Geotech report will determine appropriate footings/piers.
- Minimum structural design criteria should be designed to 90 psf (per square foot) live load.
- No vehicles are intended for access to the boardwalk. If maintenance vehicles require access (such as Gators), design criteria should be raised to 5,000 psf live load. To allow maintenance vehicles, width of boardwalk would also need to be increased to 10'.
- Guardrails required where drop to ground is 30" or more (42" high guardrail).
- 6" curb required where drop exceeds 4" to ground.
- Railings (where required) shall meet the AASHTO LRFD bridge design specifications for a Type 2- Rural and Moderate Risk area. Made of horizontal rails with the top rail at 42", intermediate rails and a bottom rail (toeboard). A 6-inch sphere must not pass through the lower 27 inches of the rail system and an 8-inch sphere must not pass through the upper area of the rail system (higher than 27 inches). The design live load for railings is 50 pounds per linear foot, both transversely and vertically, acting simultaneously. Additionally, each rail will be designed for a concentrated load of 200 pounds.

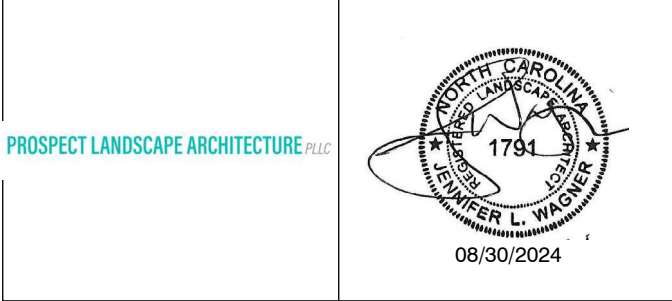
ADD ALTERNATE: CONCRETE BOARDWALK SYSTEM
PERMATRAK: 8050 Corporate Center Dr Suite 100-J, Charlotte, NC 28226
<https://www.permatrak.com/>

GEOTECH REPORT WILL BE NEEDED TO DETERMINE APPROPRIATE FOOTINGS/PIERS.

DETAIL 6- BOARDWALK

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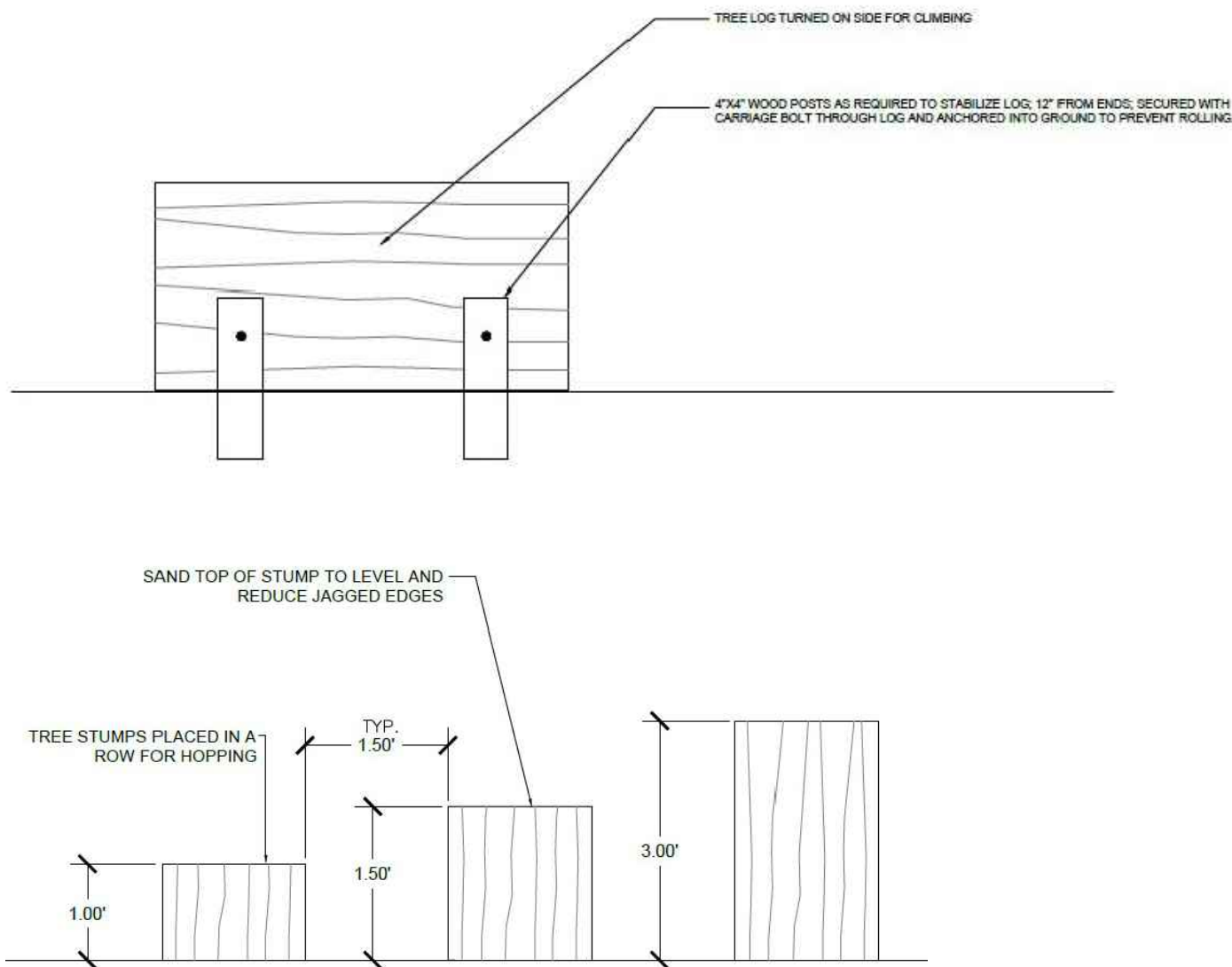
CENTER CITY GARDEN	SITE DETAILS
2024/08/30	L502



- 2 SIGNS: ONE WITH "VAN ACCESSIBLE" LANGUAGE ADDED.
- LOCATED AS SHOWN ON PLAN.
- 12"x18" FOR STANDARD SIGN.
- 12"x6" FOR VAN ACCESSIBLE SIGN.
- REFLECTIVE FINISH FOR VISIBILITY.
- CORROSION RESISTANT ALUMINUM.
- 1/12" THICKNESS
- SIGNS MOUNTED ON POLES 60" MINIMUM ABOVE PARKING SURFACE.

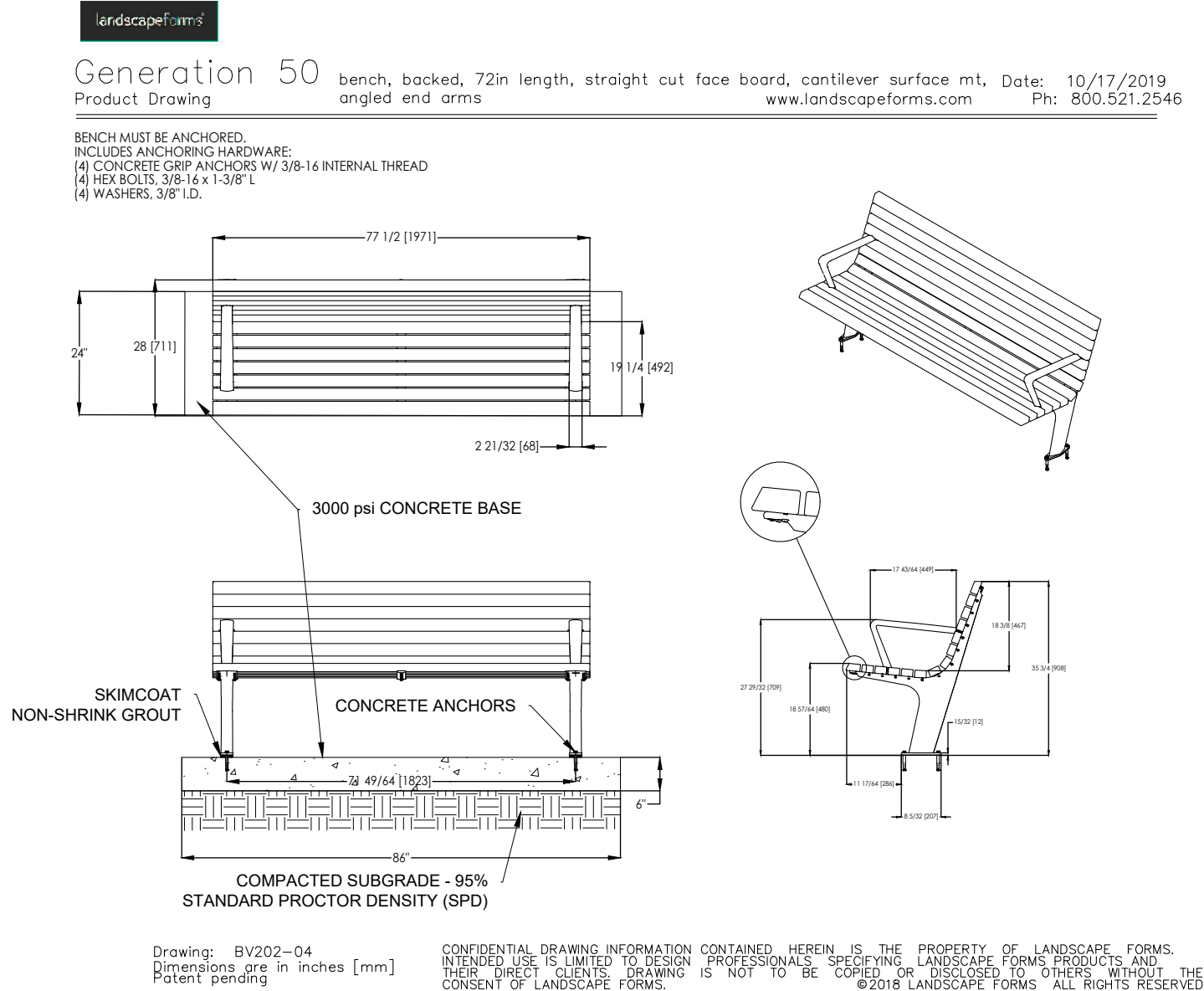
DETAIL 1 - ADA PARKING SIGN

- LOCATIONS TO BE DETERMINED.
- USE ONSITE FELLED TREES FOR NATURE PLAY ELEMENTS.

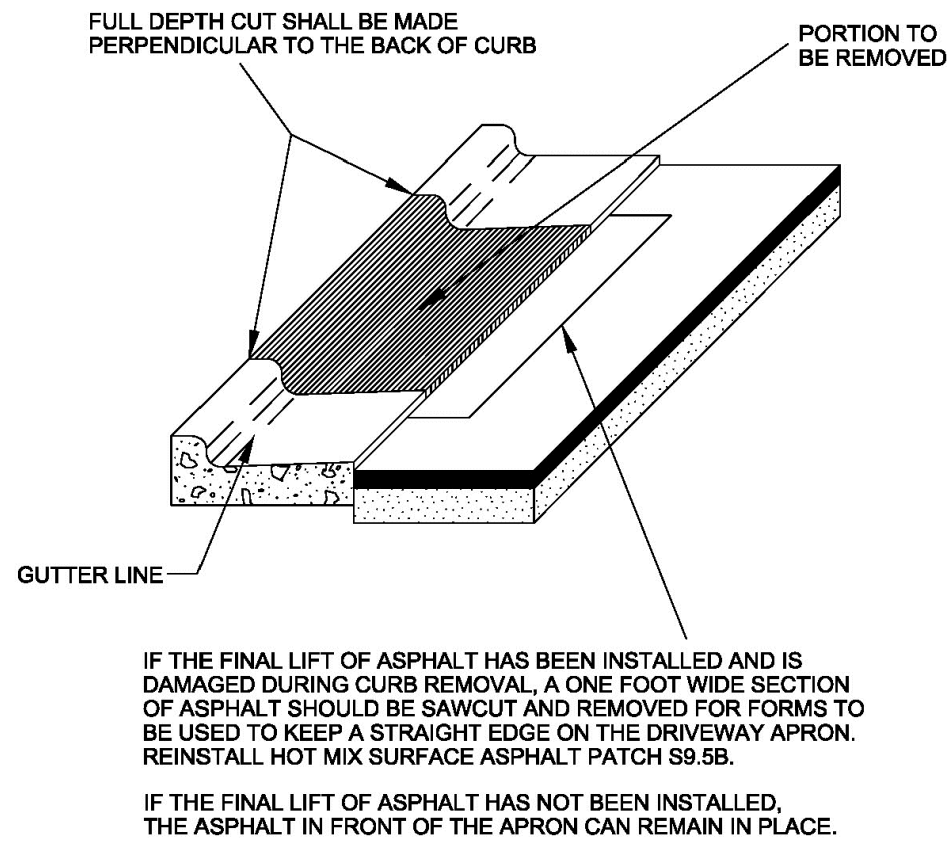


DETAIL 4 - NATURE PLAY ELEMENTS

PURCHASED BY OWNER, INSTALLED BY CONTRACTOR.

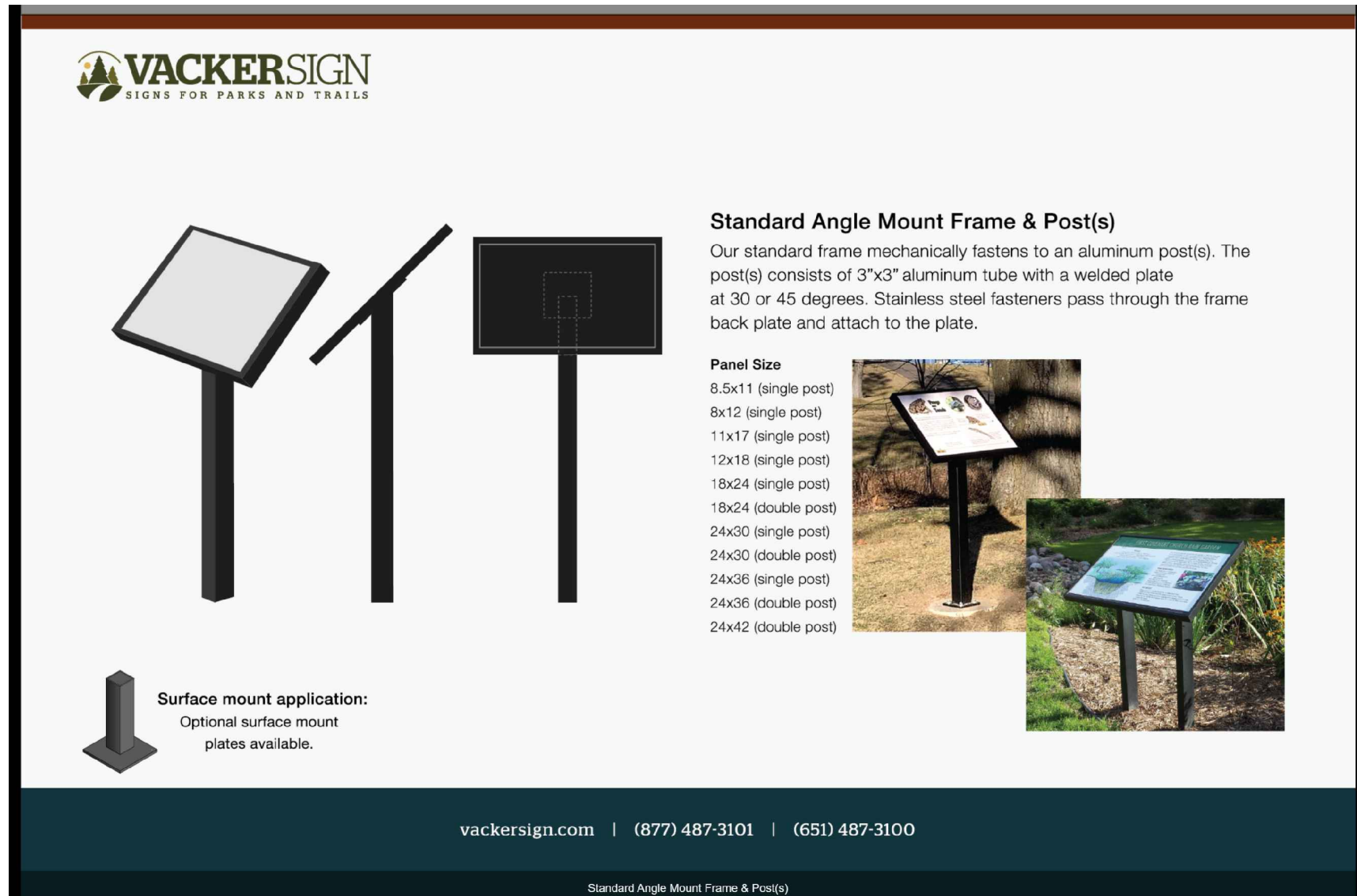


DETAIL 2 - BENCH AND MOUNTING



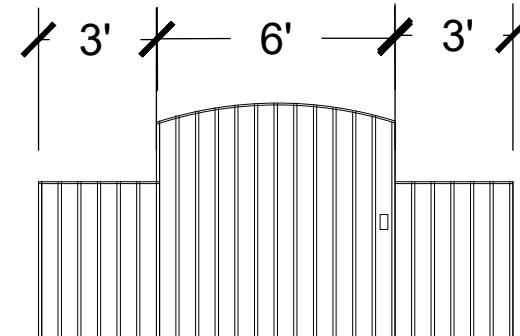
- NOTES:
1. CURB AND GUTTER SECTION SHALL BE REMOVED IN ACCORDANCE WITH DRIVEWAY WIDTH APPROVED BY THE CITY.
 2. IF PERPENDICULAR CUT IS LESS THAN 5' FROM NEXT JOINT, THEN THE PARALLEL CUT SHALL BE MADE TO THAT JOINT.
 3. THIS METHOD IS NOT ALLOWED IN NEW ROADWAY CONSTRUCTION.

DETAIL 5 - CURB AND GUTTER DEMO AT ROAD



- SIGNAGE CONTENT AND LOCATIONS TO BE DETERMINED.
 - INTERPRETIVE SIGNS BY VACKER SIGN OR SIMILAR.
- <https://vackersign.com/products/interpretive-signs/>

DETAIL 3 - EDUCATIONAL SIGNAGE



1. FINAL DESIGN TO BE DETERMINED.
2. WROUGHT IRON DECORATIVE GATE AT PEDESTRIAN PLAZA ENTRY TO GARDEN.
3. POSSIBLE DONOR OPPORTUNITY.
4. UTILZE DAKOTA FAB & WELDING OR SIMILAR. <https://www.dakotafabwelding.com/>



INSPIRATION IMAGES

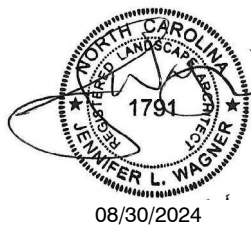


DETAIL 6- ENTRY GATE

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CENTER CITY GARDEN	SITE DETAILS
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